



REQUEST FOR PROPOSALS

NORTH GARAGE EXHAUST SYSTEM REPLACEMENT - DESIGN BUILD

RHODE ISLAND CONVENTION CENTER AUTHORITY

One LaSalle Square, Providence, RI 02903

February 20, 2026



The following are critical dates and times:

RFP Notification: February 20, 2026

Mandatory Walk-through Meeting: Rhode Island Convention Center Main lobby, Ground Floor
March 4, 2026 at 10:00AM

Proposals Due: March 13, 2026, 2:00PM

SUMMARY OF REQUEST

The Rhode Island Convention Center Authority is a public corporation of the State of Rhode Island responsible for multiple buildings including the Rhode Island Convention Center (RICC), the Amica Mutual Pavilion (AMP), the Veterans Auditorium (VETS), two parking structures at the Convention center, and the Innovation District Parking garage on Clifford Street. All the buildings are located in downtown Providence, Rhode Island.

The Rhode Island Convention Center Authority (the “Authority”) is seeking qualifications and proposals from qualified Mechanical Contractors for Design-Build Services for the replacement of deteriorated exhaust systems and the North Garage at the Convention Center. A lump sum price for the work shall be provided with the Proposals.

The scope of work for Design-Build services required is described in this document. The Contractor selected for this project will report directly to the Project Manager assigned to the project from the Authority. The Firm selected will assume full responsibility for the design, estimation, constructability reviews and construction, and close out processes.

PROJECT OVERVIEW

The North Garage was built with an exhaust system that ran from the lowest level of the Garage to the roof of the garage to exhaust any buildup of Carbon Monoxide (CO). The existing system has deteriorated over time and needs a full replacement including the ducts, fans, controls, starter, and CO monitoring system. The housing enclosure at the roof also should be replaced. At least 2 new 4” protective bollards shall be installed as part of this scope to protect the enclosures.

The scope of work anticipated is outlined below. For more context on the existing conditions reference the attached as-built drawings, Exhibit “C”.

GENERAL SCOPE:

- Provide all design, permitting, construction, and close out work for this project
- Work shall in general be limited to the North Parking garage.
- Include all overtime and weekend work, and expediting fees as needed to complete the work on time.
- Include all permits and fees for the work
- Provide a Builders Risk policy equal to the value of the contract.
- Provide as-builts in the form of CAD files and PDF’s at the end of the project
- Provide a complete close-out package of warranties, O&M’s and the like by the date of final completion.
- As part of the response, provide a sample Design Build Contract the proposer suggests be used.

SPECIFIC SCOPE:

- Remove and dispose of legally all existing ducts, supports, fans, enclosures, and miscellaneous appurtenances associated with the systems completely.
- Remove and replace wiring as needed to create a functional system. If existing conduit can be used and that meets code, reuse is permitted. If not, provide new conduit per code to operate the system.
- Replace the existing starter if required to operate the new fans.
- Replace the existing exhaust system in its entirety including ducts, fans, enclosures, wiring, and CO monitoring / detection system and all interfaces to operate the system. Coordinate the exact location of the CO detection system with the Authority.
- New ducts and plenum, screens, and fan enclosure shall be stainless steel. Duct supports shall be stainless steel or hot dipped galvanized. If the supports are hot dipped galvanized, provide isolation between the steel and the stainless steel to prevent corrosion.
- At the top level, provide a weather resistant enclosure for any electrical equipment which is as good as, or better than, the existing materials. Equipment enclosures are to come prefinished from the factory with a durable powder coat finish.
- All fasteners to the deck shall be hot dipped galvanized or stainless steel to prevent future corrosion.
- There are some locations with galvanized steel frames to protect the ducts from cars. These are to be re-used and/or left in place during the work.
- At the roof level, provide three each 4” steel bollards through bolted to the concrete deck to protect the ducts and the disconnect. Bollards shall be hot dipped galvanize, ¼” minimum wall thickness with a cap, on a 1/4” thick square steel base with 4 anchor bolts. Bollards shall be covered with a vinyl / ABS yellow sleeve. Coordinate bolt holes with the existing structure. Use Stainless steel or hot dipped galvanized fasteners.
- The North Garage shall remain occupied and operational throughout the duration of construction. The awarded firm is to coordinate its work with the Authority. The Authority has plastic jersey barriers the contractor can use to isolate parking spaces as needed to perform the work.

The Owner’s Project Manager for the Project is LiRO-Hill. They will be on site daily throughout the duration of construction.

ESTIMATED PROJECT SCHEDULE:

- The mandatory pre-bid meeting shall be: March 4, 2026 at 2 PM
- Questions are due by 4 PM March 5, 2026 via email in the form of a Word document attachment.
- Proposal package is due: March 13, 2026 by 2 PM
- Award is anticipated by Early April, 2026
- Earliest Mobilization date May 1, 2026
- Substantial completion date: September 1, 2026

- Final close out date: October 15, 2026

OTHER PROVISIONS:

- Trade parking is limited on site. The trades may park at their cost in the RICCA parking garages or on the street where they can legally park. The Authority assumes no responsibility for fines or towing costs for illegally parked vehicles.
- A space for an office can be provided for the contractor during construction operations. Office furniture, supplies, and the like shall be by the Contractor. The Authority will provide access to the facility WIFI.
- Access to the garage shall be through the North Garage entrances. The clearance is low in the garage so the contractor must account for that when planning deliveries. Deliveries shall be coordinated with the Authority.
- There is NO space on site for office trailers or storage trailers for materials. Work boxes may be stored and secured in the work areas. Tradesmen in the building must wear clothing, (or badges), and hard hats that identify the company they work for.
- The Authority utilizes union labor internally to maintain and operate the buildings. The use of Prevailing Wages is required on this project. Certified Payrolls must be submitted with each requisition. The contractor must work in harmony with union staff in the building.

REQUEST FOR PROPOSAL SUBMISSION
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The Authority will receive the qualifications and proposals for Design-Build services for the Dressing and Locker Room Renovations at the AMP.

Proposal Documents: three (3) printed copies and one complete copy on one (1) USB thumb drive must be submitted by US Mail and / or Courier and received no later than the date indicated in this RFP; at which time a public proposal opening will be held in the Authority’s office where the proposals are to be delivered. Proposals received after that time and date will be returned unopened. All Proposals must be clearly and distinctly typed, pricing submitted on the pricing sheet provided, and the proposal must complete, and sign, the Proposal form. Once submitted, a Proposal becomes the property of the Authority.

Send Proposals to:
Attn: Daniel McConaghy, Executive Director
Rhode Island Convention Center Authority
One LaSalle Square
Providence, RI 02903

The outside of the envelope or package containing the bid should be marked “North Garage Exhaust System Replacement”

Pre-Proposal Site Walkthrough

Firms submitting Proposals are required to attend the Mandatory Pre-Proposal site visit on the date and time noted in this RFP. The Pre-Proposal site visit meeting will be held at main lobby

on the ground floor of the Convention center. Proposals will not be accepted from firms who do not attend the Pre-Proposal meeting.

During this meeting, the Authority will provide general overview of the scope of work as outlined in the RFP, take a tour of the project site and hold general discussions. Please e-mail Christine Crabtree, Purchasing Manager, at christine.crabtree@riccauth.com to RSVP for this meeting no later than **March 2, 2026 at 4:00PM. Please clearly state the company you are with along with how many people will be attending this meeting.**

Questions:

All questions regarding this RFP should be sent to Christine Crabtree, Purchasing Manager at christine.crabtree@riccauth.com in the form of a WORD document no later than **March 5, 2026 at 4:00PM**. Answers will be issued via Addendum on the RICCA website at (<https://www.riconvention.com/about-ricca/financials-rfps>) under the “RFPs & Financials” tab and on the RI State Purchasing Website.

PROPOSAL CONTENT REQUIREMENTS

For consideration, proposals must contain the requested information and address each item listed in this section. Proposals are to be organized in the same order as requested. Incomplete responses to any of these items or failure to submit complete proposal, as requested, may render your RFP response insufficient and may be denied further consideration. RFP responses that do not meet or exceed the requested information in each item requested will be considered incomplete.

Responses must be typed or printed. Any handwritten corrections made by the submitting firms must be initialed and dated by an officer of the firm. No changes or corrections will be allowed after responses are received.

In the body of the proposal provide:

- Design Built Team information.
 - Information regarding the history of the firm, its size, experience in the type of work requested, and any other information the firm considers helpful as to an evaluation of the firm.
 - List of qualifications inclusive of 10 Design-Build mechanical projects the lead firm has performed within the last 10 years. The list shall include a description of the project, size and cost of the project, a description of the project, and the name of the Owner’s contact with their email and phone number.
 - References from four projects with similar scope performed as the Design-Build prime per the Exhibit A (attached).
- Names of project team members and their qualifications to perform this work including but not limited to
 - Project Manager
 - Construction superintendent

- Background information on any other subconsultant or outsourced service that will be used in connection with in-house personnel and identify the extent to which such resources will be used.
- A simple schedule with the duration after execution of a contract for the design and construction phases.
- Any other information the bidder considers helpful as to an evaluation of the bidder.
- Cost Proposal per the attached Exhibit B – Cost Proposal Form (attached)

GENERAL INSTRUCTIONS

To be considered, Proposer must provide the information requested herein, in writing, within the time frame specified. The Authority will compare proposals, ask any questions to all proposers, and move forward with the proposers who is the lowest responsible and best qualified Proposer as evaluated by the Authority.

A “Qualified Proposer” is a Proposer determined by the Authority to meet standards of business competence, reputation, financial ability, and product quality. A “Responsible Proposer” is a Qualified Proposer who has the capability in all respects including financial responsibility to perform full the requirements, and the integrity and reliability which will assure good faith performance.

Prohibition of Alterations:

Proposals which are incomplete, or which are conditioned in any way, or which contain erasures, alterations, or are not in conformity with the law may be rejected.

Tax and License Requirements:

Proposers must follow any and all laws it is subject to in their proposal for services.

Obligation:

The RFP does not obligate the Authority to contract for any services, expressed or implied.

Rejection of Proposals:

The Authority reserves the right to:

- Make all decisions regarding this proposal, including, without limitation, the right to decide whether a Proposal does or does not substantially comply with the requirements of this RFP.
- Accept, or reject in any terms of Proposer’s submission or any part thereof.
- To reject any or all proposals received.

The Authority shall not be responsible for any cost incurred by any proposer in the preparation of this proposal. It must be specifically understood that this RFP does not create any obligation on the part of the Authority to enter into any contract or undertake any financial obligation with respect to the items referred to herein. The proposer understands that, if selected, the Authority reserves the right to provide its opinion publicly and privately regarding proposers’ performance, throughout the entire project.

INSURANCE REQUIREMENTS

- Statutory Coverage Worker's Compensation Insurance with employer liability limits of \$500,000.00 for each accident, aggregate for disease, and disease of employee; and
- Contractors or subcontractors whose total job cost is less than \$25,000 - Broad Form Commercial General Liability Insurance naming the additional insureds set forth below with coverages in an amount of at least \$1,000,000 per occurrence and aggregate; or (b) Contractors or subcontractors whose total job cost is more than \$25,000 - Broad Form Commercial General Liability Insurance naming the additional insureds set forth below with coverage in an amount of at least \$2,000,000 per occurrence and aggregate.
- Except as otherwise expressly approved in writing, all contractors' policies should be broad form and shall include contractual liability, personal injury protection and completed operations coverage.
- The policies should be written so as to be primary and non-contributory.
- Each insurer must be licensed to do business in the State of Rhode Island, with a rating by Best's Insurance Rating Guide of at least A-X and coverage must be primary and non-contributory.
- A standard waiver of subrogation clause must be included for all policies.
- All coverage should be written so as to be primary of any applicable coverage carried by Owner and any other applicable ownership entity.
- Evidence of coverage to be provided via standard ACORD certificate of insurance form.
- **Payment and Performance Bonds equal to the value of the contract and all amendments will be required for the project.**
- **A Bid Bond pursuant to this solicitation is not required.**

Additional Insureds:

RI Convention Center Authority, Oak View Group, Amica Mutual Pavilion, Rhode Island Convention Center, the State of Rhode Island's respective Directors, Officers, Agents and Employees should be listed as additional insured on a primary and non-contributing basis. Waiver of subrogation in favor of the additional insured should apply to the policy.

Certificate Holder Section should read as follows:

Rhode Island Convention Center Authority
1 LaSalle Square
Providence, RI 02903

EXECUTION OF CONTRACT

Should the Authority enter into contract with the awarded bidder, both parties will execute a mutually agreed upon form of contract.

RIGHTS RESERVED TO THE AUTHORITY

Notwithstanding any other provision of this Invitation the Authority reserves to itself the rights listed below.

A. Right to Modify Invitation Documents

The Authority reserves the right to modify or amend any provision of the Request for Proposal documents. Proposers should check the Authority's website for any modifications.

B. Right to Reject Any and All Proposals

Whenever the Authority deems it to be in the Authority's best interest, the Authority reserves the right, in its sole discretion, to cancel this Invitation, to reject any and all Proposals, to waive minor irregularities or informalities in a Proposal; to re-advertise; and to proceed in a manner other than awarding a contract under this Invitation. **The Authority will not waive, however, the requirement that proposers attend the Pre-Proposal Meeting and that Proposals be received by the Authority prior to the deadline for submission.**

C. Additional Cause for Rejection

In addition to any other cause for rejection of a submittal stated in this Invitation, a proposal may also be rejected if there is evidence of collusion among proposers, if the proposer submitting it is in default or arrears under any prior or existing contract with the Authority or any other State of Rhode Island department or agency, or there is an unresolved claim between the proposer and the Authority or any other State of Rhode Island department or agency.

Any direct contacts made or attempted to be made by any Proposer with any Authority Board member prior to the selection of qualified Proposers will automatically disqualify a Proposer from any further consideration.

Proposers are advised that the Authority as a quasi-public agency of the State of Rhode Island its records, including statements submitted in response to Invitation are public records unless otherwise exempted under state law.

EXHIBIT A – PROJECT REFERENCES

DRESSING & LOCKER ROOM RENOVATIONS AT THE AMICA MUTUAL PAVILION

RHODE ISLAND CONVENTION CENTER AUTHORITY

PROJECT 1

Owner: _____

Contact Name: _____

Contact Title: _____

Phone Number: _____

Type of Services Provided and Dates: _____

Cost of Services Provided: _____

PROJECT 2

Owner: _____

Contact Name: _____

Contact Title: _____

Phone Number: _____

Type of Services Provided and Dates: _____

Cost of Services Provided: _____

EXHIBIT A – PROJECT REFERENCES (continued)

DRESSING & LOCKER ROOM RENOVATIONS AT THE AMICA MUTUAL PAVILION
RHODE ISLAND CONVENTION CENTER AUTHORITY

PROJECT 3

Owner: _____

Contact Name: _____

Contact Title: _____

Phone Number: _____

Type of Services Provided and Dates: _____

Cost of Services Provided: _____

PROJECT 4

Owner: _____

Contact Name: _____

Contact Title: _____

Phone Number: _____

Type of Services Provided and Dates: _____

Cost of Services Provided: _____

EXHIBIT B – COST PROPOSAL FORM

DRESSING & LOCKER ROOM RENOVATIONS AT THE AMICA MUTUAL PAVILION

RHODE ISLAND CONVENTION CENTER AUTHORITY

Name of Company: _____

Company Address: _____

Contact Person – Name: _____

Contact Person – Phone Number: _____

Contact Person – Email: _____

Proposal includes the following recognized addendum:

Scope Description	Cost (\$)
Design services	\$
Construction and Close out services	\$
Total Proposal Cost	\$

Print Name: _____ Title: _____

Signature: _____ Date: _____

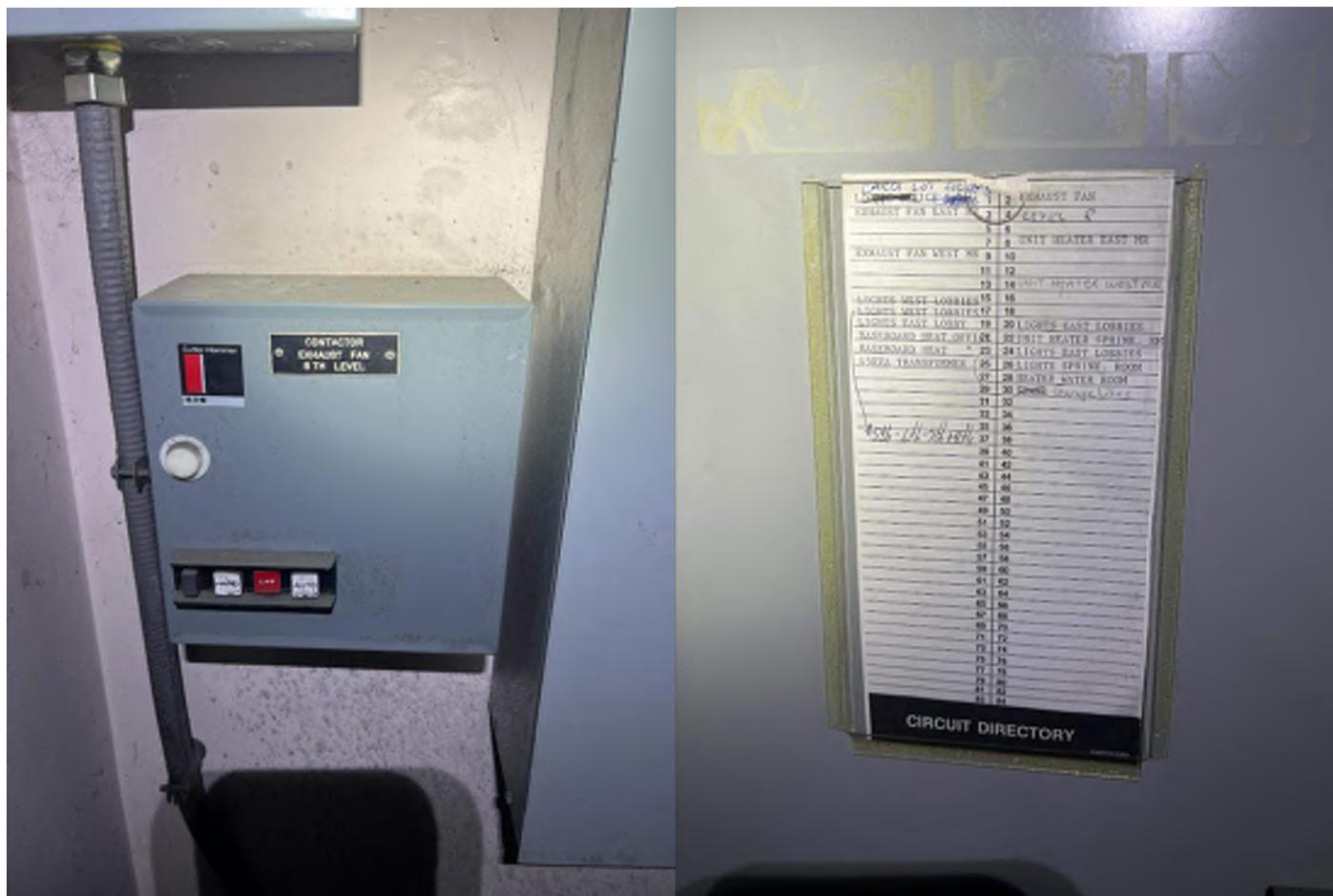
EXHIBIT C – DRAWINGS AND PHOTOS
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NORTH GARAGE EXHAUST SYSTEM REPLACEMENT

RHODE ISLAND CONVENTION CENTER AUTHORITY

Exhibit C includes the As-built documents from the construction of the garage and photos of existing conditions as of February 2026. The intent is that the contractor replace the existing systems in kind. Not all work items are shown on these drawings, in particular the CO detection system is not indicated and controls are not described. The contractor shall include in his work the design and installation of the CO detection system that meets code and operates the system.

RI CONVENTION CENTER NORTH GARAGE
 EXHAUST DUCT REPLACEMENT EXISTING CONDITIONS PICTURES FEB. 2026



Contactor box near office

Panel board schedule

RI CONVENTION CENTER NORTH GARAGE
EXHAUST DUCT REPLACEMENT EXISTING CONDITIONS PICTURES FEB. 2026



Typical corrosion



Ducts – note transition from side to side

RI CONVENTION CENTER NORTH GARAGE
EXHAUST DUCT REPLACEMENT EXISTING CONDITIONS PICTURES FEB. 2026



Typical duct



Duct – note the steel guard to be reused where in place

RI CONVENTION CENTER NORTH GARAGE
EXHAUST DUCT REPLACEMENT EXISTING CONDITIONS PICTURES FEB. 2026

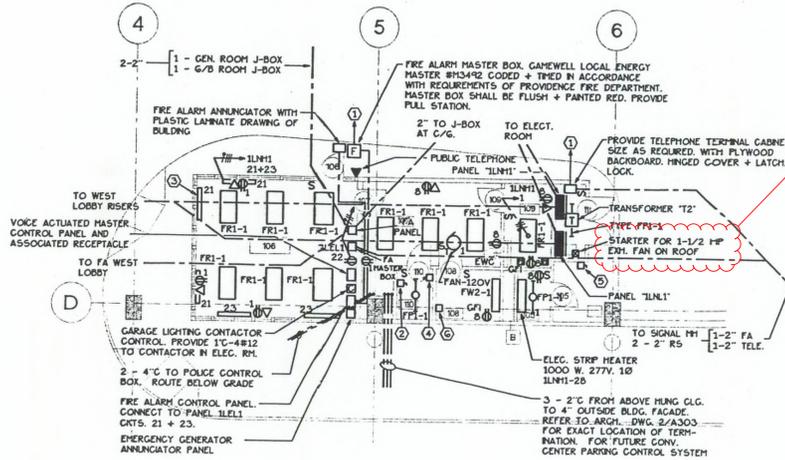


Duct Intakes at lower level

RI CONVENTION CENTER NORTH GARAGE
EXHAUST DUCT REPLACEMENT EXISTING CONDITIONS PICTURES FEB. 2026

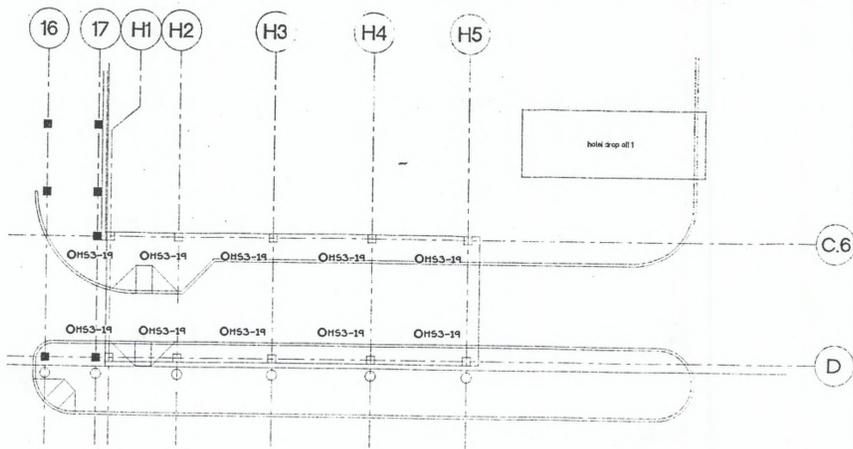


Roof fan assembly and plenum and disconect

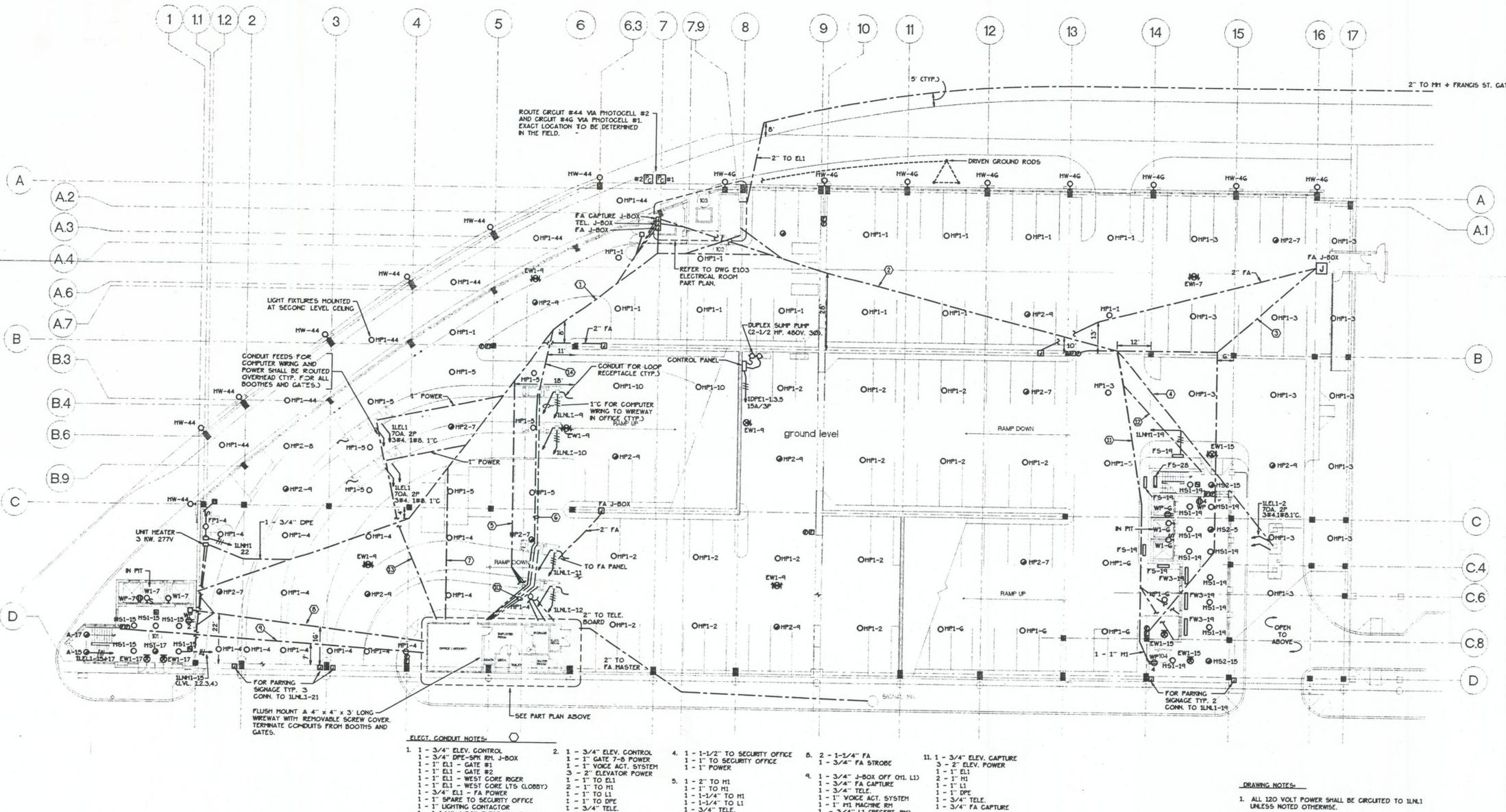


1 PART PLAN - OFFICES
SCALE: 1/8" = 1'-0"

- 1 PROVIDE 2" UNDERGROUND TO F.A. + TEL. DUCT BANK SEE DWG. C4 FOR EXACT LOCATION OF TERMINATION. PROVIDE PLUMBIC WIRE AS REQUIRED BY P.F.D. IN F.A. CONDUIT TO CITY OF PROVIDENCE COMMUNICATIONS BUILDING.
- 2 10 KW. 208V. 3Ø FURNACE WITH 1/2 HP FAN. PROVIDE GOA. UNFUSED DISCONNECT SWITCH WITH C3284 + C1886 IN 1-1/4" C. TO ORIGIN'S 14. 16. 18 IN PANEL 'LNLI' -50A. 3 POLE C/CUT BREAKER.
- 3 ELECTRIC BASEBOARD HEATER - 1000 KW. 277V. 1Ø EACH. TYPICAL FOR 5 UNITS THIS ROOM.
- 4 ELECTRIC WATER HEATER - 15 KW. 120V. PROVIDE 30 AMP UNFUSED DISCONNECT SWITCH. CONNECT TO 20A. 1P C/B-PANEL LNLI GRT. 13.
- 5 CONDENSING UNIT - 11.5A. 208V. 1Ø. PROVIDE 30 AMP DISCONNECT SWITCH FUSED AT 20 AMP'S. CONNECT TO 20A. 2P C/B-PANEL LNLI GRTS. 15 + 17.
- 6 WALL HEATER - 15 KW. 120V. CONNECT TO 20A. 1P C/B-PANEL LNLI GRT. 22.



2 PART PLAN - HOTEL DROP OFF



3 GROUND FLOOR PLAN

- ELECT. CONDUIT NOTES:
- | | | | | |
|-----------------------------------|---------------------------|----------------------------------|----------------------------|----------------------------|
| 1. 1 - 3/4" ELEV. CONTROL | 2. 1 - 3/4" ELEV. CONTROL | 4. 1 - 1-1/2" TO SECURITY OFFICE | 8. 2 - 1-3/4" FA | 11. 1 - 3/4" ELEV. CAPTURE |
| 1 - 3/4" DPE-5PK RM. J-BOX | 1 - 1" GATE 7-8 POWER | 1 - 1" TO SECURITY OFFICE | 3 - 2" FA STROBE | 3 - 2" ELEV. POWER |
| 1 - 1" ELL - GATE #1 | 1 - 1" VOICE ACT. SYSTEM | 1 - 1" TO SECURITY OFFICE | 1 - 3/4" FA STROBE | 2 - 1" H1 |
| 1 - 1" ELL - GATE #2 | 3 - 2" ELEVATOR POWER | 1 - 1" TO SECURITY OFFICE | 1 - 3/4" J-BOX OFF OHL L11 | 1 - 1" H1 |
| 1 - 1" ELL - WEST CORE RIGER | 1 - 1" TO EL1 | 5. 1 - 2" TO H1 | 1 - 3/4" FA CAPTURE | 1 - 1" H1 |
| 1 - 1" ELL - WEST CORE (15 LOBBY) | 1 - 1" TO H1 | 1 - 1/4" TO H1 | 1 - 3/4" TELE. | 1 - 1" DPE |
| 1 - 3/4" ELL - FA POWER | 1 - 1" TO L1 | 1 - 1/4" TO H1 | 1 - 1" VOICE ACT. SYSTEM | 1 - 3/4" TELE. |
| 1 - 1" SPARE TO SECURITY OFFICE | 1 - 1" TO DPE | 1 - 1/4" TO L1 | 1 - 1" M1 MACHINE RM. | 1 - 3/4" LI CAPTURE |
| 1 - 1" LIGHTING CONTACTOR | 1 - 3/4" TELE. | 1 - 3/4" TELE. | 1 - 3/4" LI (RECEPT. RFD) | 1 - 3/4" H1 GLOBBY. LTS |
| 1 - 1/4" J-BOX ELECT. RM. TO L1 | 1 - 2" FA | 6. 1 - 1-1/2" TO GATE 3-4 | 1 - 3/4" H1 (SPKR RM.) | 1 - 3/4" H1 (SPKR RM.) |
| 1 - 1" J-BOX ELECT. RM. TO H1 | 1 - 1-1/2" GATE 7-8 | 1 - 1" TO GATE 3-4 | 10. 1 - 1-1/2" GATE 5 | 1 - 1" GATE 5 |
| 1 - 1/4" J-BOX ELECT. RM. TO H1 | 1 - 1" GATE 7-8 | 1 - 1-1/2" TO GATE 3-4 | 1 - 1-1/2" GATE 1-2 | 1 - 1" GATE 1-2 |
| 1 - 1" VOICE ACT. SYSTEM | 1 - 3/4" FA ELEV. CAPTURE | 1 - 1" TO GATE 5-6 | 1 - 1-1/2" GATE 2 | 1 - 1" GATE 2 |
| 1 - 1" SYSTEM GROUND | 1 - 3/4" FA ELEV. CAPTURE | 7. 1 - 2" GEN. RM. | 1 - 1-1/2" GATE 2 | 1 - 1" GATE 2 |
| 1 - 1" GEN. REMOTE ANN. | 1 - 3/4" FA (C13/C) | 1 - 3/4" FA (C14/C.B.) | 1 - 2" G/C | |
| 1 - 3/4" TELE. | 1 - 1" GATE 7-8 | 1 - 3/4" FA (C14/C.B.) | 1 - 3/4" FA (CELL) | |
| 1 - 2" MAIN SWBD TO H1 | 1 - 1-1/4" FA (C5/ARS) | 1 - 1-1/4" FA (C5/ARS) | | |

- DRAWING NOTES:
- ALL 120 VOLT POWER SHALL BE CIRCUITED TO LNLI UNLESS NOTED OTHERWISE.
 - ALL 277 VOLT NORMAL POWER SHALL BE CIRCUITED TO LNLI UNLESS NOTED OTHERWISE.
 - ALL 277 VOLT EMERGENCY POWER SHALL BE CIRCUITED TO 10P1 UNLESS NOTED OTHERWISE.

NORTH PARKING STRUCTURE

CONVENTION CENTER COMPLEX
PROVIDENCE RHODE ISLAND

A METRO PARTNERS DEVELOPMENT FOR THE CONVENTION CENTER AUTHORITY

CONSTRUCTION MANAGER
Marshall Contractors Inc.
75 Newman Avenue
Rumford, RI 02916
(401) 438-3500



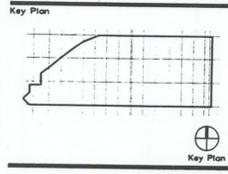
Boston
Buffalo New York
St. Louis Washington

Cannon Boston Inc.
Architects and Engineers
148 State Street
Boston, MA 02109
Fax (617) 742-5440
Fax (617) 723-8832

Vanasse Hangen Brustlin Inc.
Civil Engineers/Surveyors
530 Broadway
Providence, RI 02909
(401) 272-8100

Desman Associates
Structural Engineers/Parking Garage Consultants
307 Fifth Avenue
New York, N.Y. 10016
(212) 686-5360

The SWA Group
Landscape Architects
711 Boylston Street
Boston, Ma. 02116
(617) 266-4703



MAY 2, 1994 AS-BUILT
6-27-91 BULLETIN #6
4-2-91 BULLETIN #3
2-27-91 BULLETIN #2
12-21-90 ADDENDUM #1

Revision Date Issued for Date Scale
10 SEPT. 1993 1"=16'-0"
Drawn by Checked by

Project No.
9013.01
Drawing Title
GROUND FLOOR PLAN
LEVEL 1
AS BUILT

Drawing No.
E101

PGE101.VWF

**NORTH PARKING
STRUCTURE**

CONVENTION CENTER
COMPLEX
PROVIDENCE
RHODE ISLAND

A METRO PARTNERS
DEVELOPMENT FOR
THE CONVENTION
CENTER AUTHORITY

CONSTRUCTION MANAGER
Marshall Contractors Inc.
75 Newman Avenue
Rumford, RI 02916
(401) 438-3500



Boston
Buffalo New York
St. Louis Washington

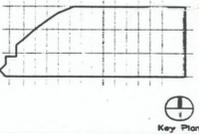
Cannon Boston Inc.
Architects and Engineers
148 State Street
Boston, MA 02109
(617) 742-5440
Fax (617) 723-8832

Vanasse Hangen Brustlin Inc.
Civil Engineers/Surveyors
530 Broadway
Providence, RI 02909
(401) 272-8100

Desman Associates
Structural Engineers/Parking Garage Consultants
307 Fifth Avenue
New York, N.Y. 10016
(212) 686-5360

The SWA Group
Landscape Architects
711 Boylston Street
Boston, Ma. 02116
(617) 266-4703

Key Plan



MAY 2, 1994 AS-BUILT
6-27-91 BULLETIN #6
4-2-91 BULLETIN #3
2-27-91 BULLETIN #2
12-21-90 ADDENDUM #1

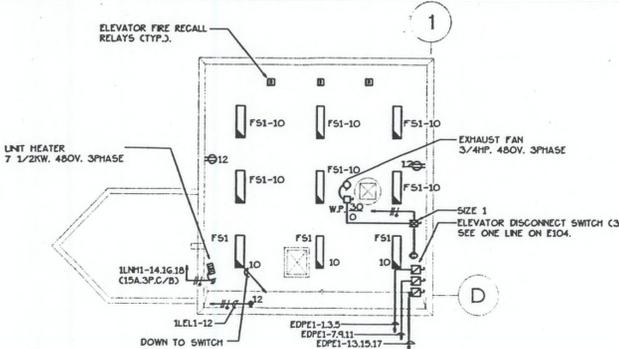
Revision Date Issued for
Date Scale
10 SEPT. 1990 1"=16'-0"
Drawn by Checked by

Project No.
9013.01
Drawing Title

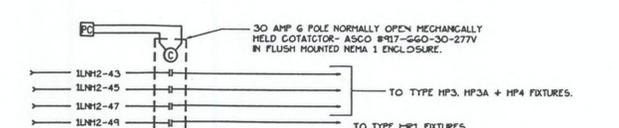
FLOOR PLAN
LEVEL 8
AS-BUILT

Drawing No.

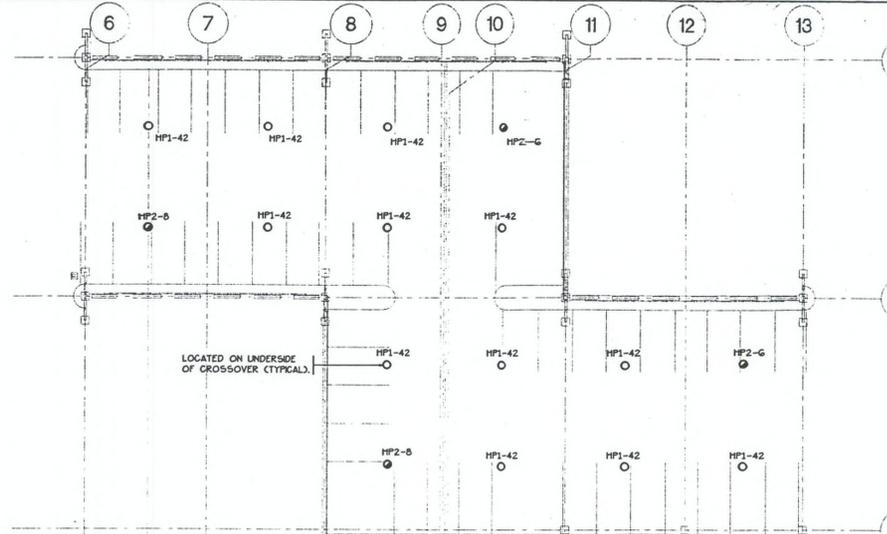
E108



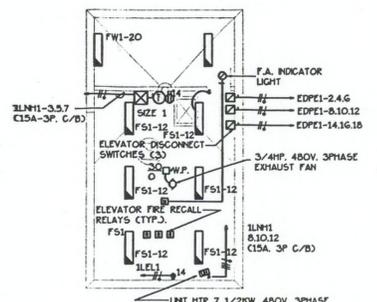
3 ROOF PLAN - WEST CORE
SCALE: 1/8" = 1'-0"



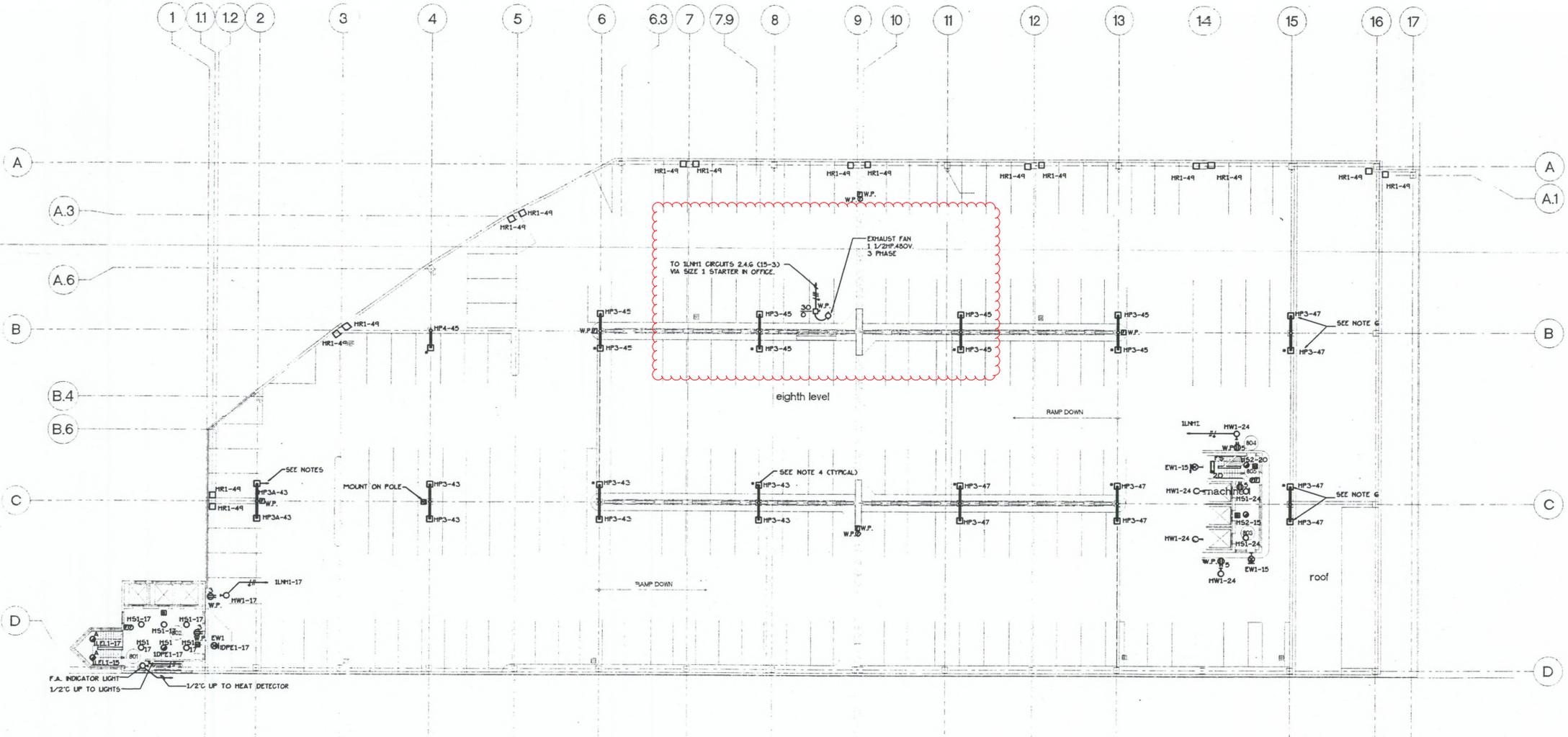
5 ROOF PLAN - WEST CORE
SCALE: 1/8" = 1'-0"



2 PART PLAN - CROSSOVER (ALTERNATE)



4 MACHINE ROOM - EAST CORE
SCALE: 1/8" = 1'-0"



1 LEVEL 8

- DRAWING NOTES**
- ALL 120 VOLT POWER SHALL BE CIRCUITED TO 1LN1 UNLESS NOTED OTHERWISE.
 - ALL 277 VOLT NORMAL POWER SHALL BE CIRCUITED TO 1LN12 UNLESS NOTED OTHERWISE.
 - ALL 277 VOLT EMERGENCY POWER SHALL BE CIRCUITED TO 1DPE1 UNLESS NOTED OTHERWISE.
 - ASTERISK "*" INDICATES LIGHT FIXTURE TO BE TYPE 3 DISTRIBUTION.
 - ROTATE REFLECTOR AND LAMP 90 DEGREES (NOT FIXTURE). ARROW ">" INDICATES DIRECTION OF LIGHT DISTRIBUTION.
 - REFLECTORS SHALL BE PAINTED BLACK TO LESSON THE GLOSS AT FUTURE HOTEL. REFLECTOR TO BE FACTORY-PAINTED.

NORTH PARKING STRUCTURE

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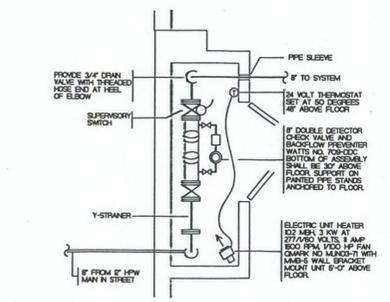
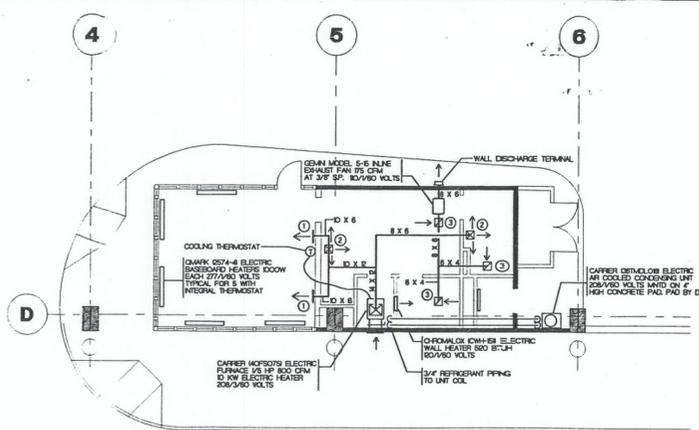
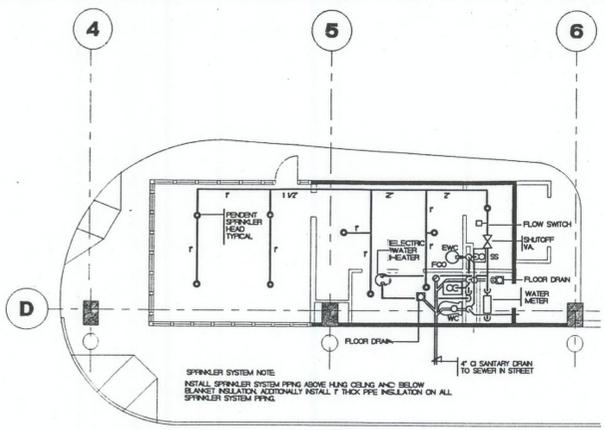
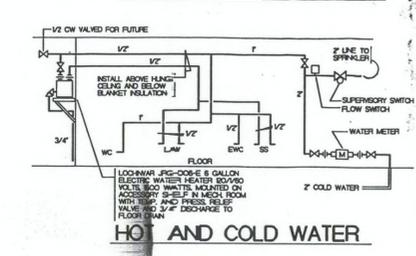
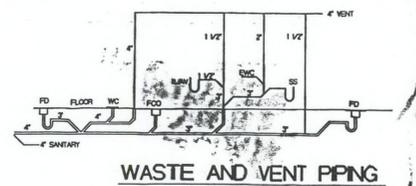
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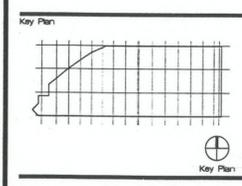
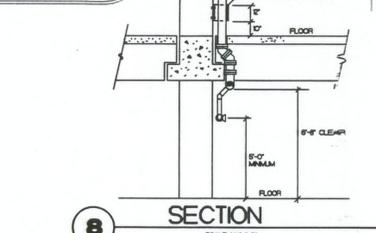
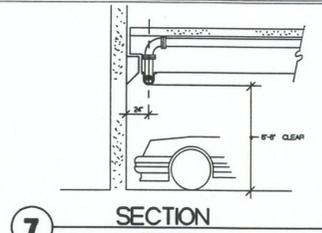
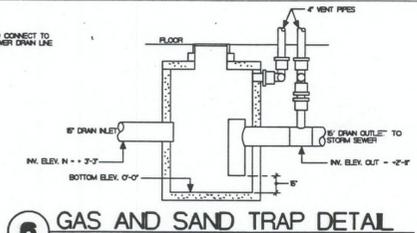
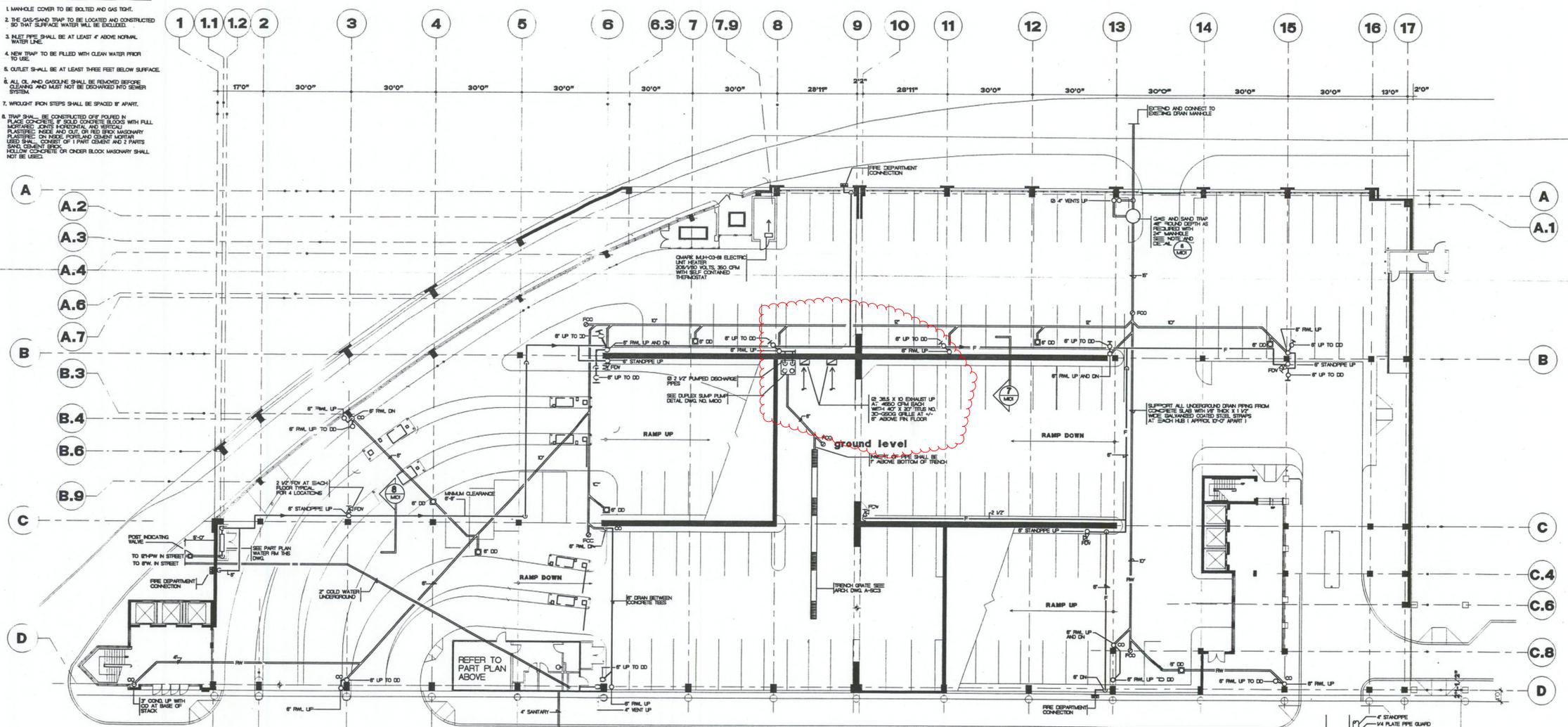
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- DIFFUSERS**
- 1) TITUS MODEL NO 100, 8" X 8" X 250 CFM WITH VOLUME DAMPER
 - 2) TITUS MODEL NO PAS 2" X 2, 6" X 6" NECK, 80 CFM WITH VOLUME DAMPER
 - 3) TITUS MODEL NO PAR 2" X 2, 6" X 6" NECK, 100 CFM, 75 CFM WITH VOLUME DAMPER

NOTES

1. MANHOLE COVER TO BE BOLTED AND GAS TIGHT.
2. THE GAS-SAND TRAP TO BE LOCATED AND CONSTRUCTED SO THAT SURFACE WATER WILL BE EXCLUDED.
3. WET PIPES SHALL BE AT LEAST 4" ABOVE NORMAL WATER LINE.
4. NEW TRAP TO BE FILLED WITH CLEAN WATER PRIOR TO USE.
5. OUTLET SHALL BE AT LEAST THREE FEET BELOW SURFACE.
6. ALL OIL AND GASOLINE SHALL BE REMOVED BEFORE CLEANING AND MUST NOT BE DISCHARGED INTO SEWER SYSTEM.
7. WROUGHT IRON STEPS SHALL BE SPACED 8" APART.
8. TRAP SHALL BE CONSTRUCTED ONE FOOT IN PLACE CONCRETE IF SOLID CONCRETE BLOCKS WITH FULL MORTAR JOINTS HORIZONTAL AND VERTICAL PLASTERED INSIDE AND OUT, OR RED BRICK MASONRY PLASTERED ON INSIDE (SPRINKLER AND GAS TIGHT). USED SHALL CONSIST OF 1 PART GEMENT AND 2 PARTS SAND. GEMENT BRICK HOLLOW CONCRETE OR OTHER BLOCK MASONRY SHALL NOT BE USED.



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Revision	Date	Issued for
10 SEPT. 1992	1"=16'-0"	Scale
Drawn by		Checked by
DWD		PH
Project No.		
903.06		
Drawing Title		
GROUND FLOOR PLAN		
LEVEL 1		
AS-BUILT		

Drawing No. **M.101**

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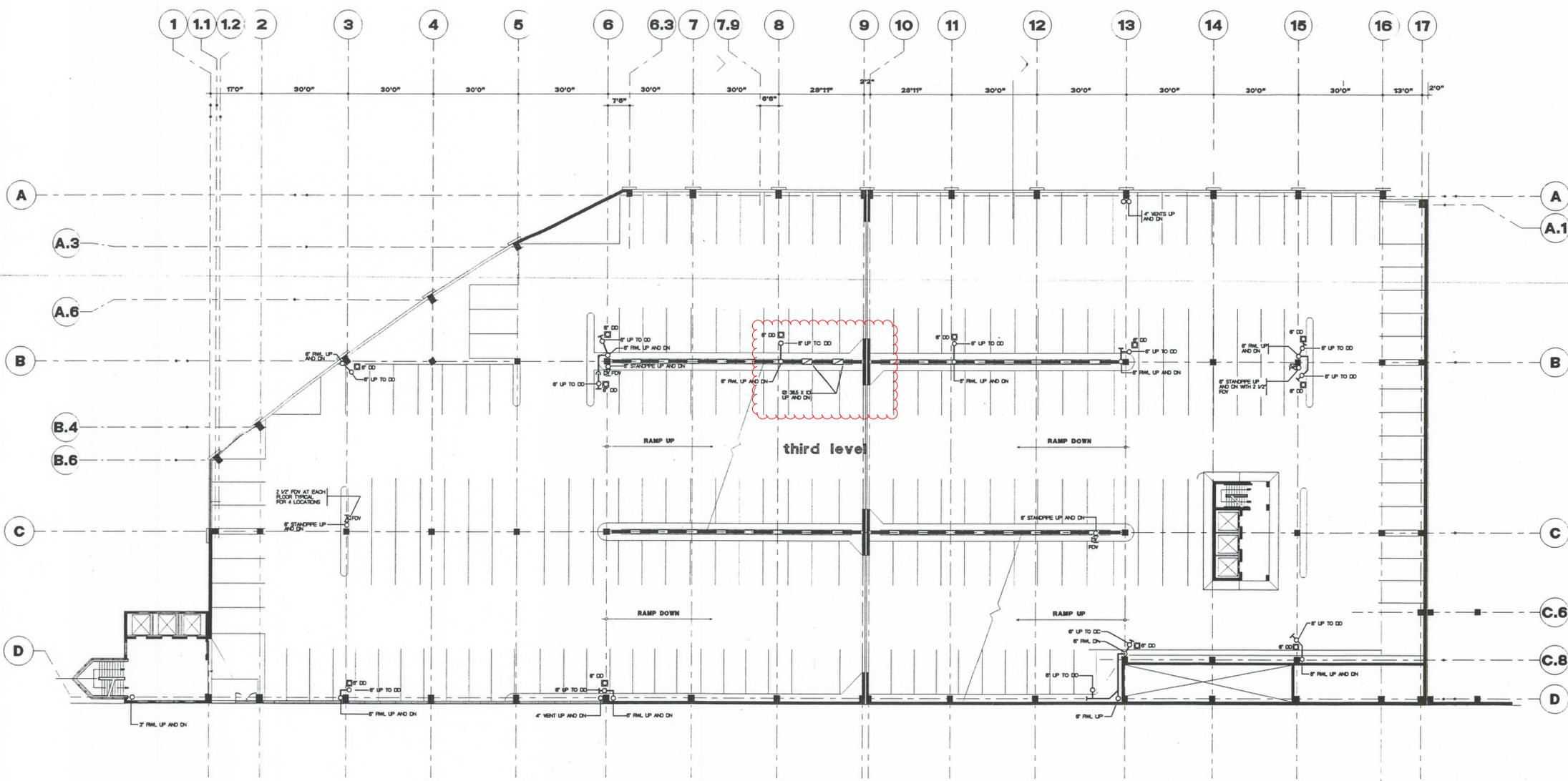
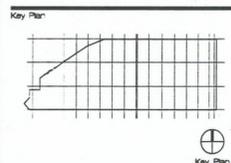
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2 LEVEL 3 (EL + 30)

Revision	Date	Issued for
MAY 2 1994		AS-BUILT
10 SEP 1992		T-16'-0"

Drawn by: DWD
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Project No: 9030E
Drawing No: FLOOR LEVEL LEVEL 3 AS BUILT

M.103

PGMIC3.VWF

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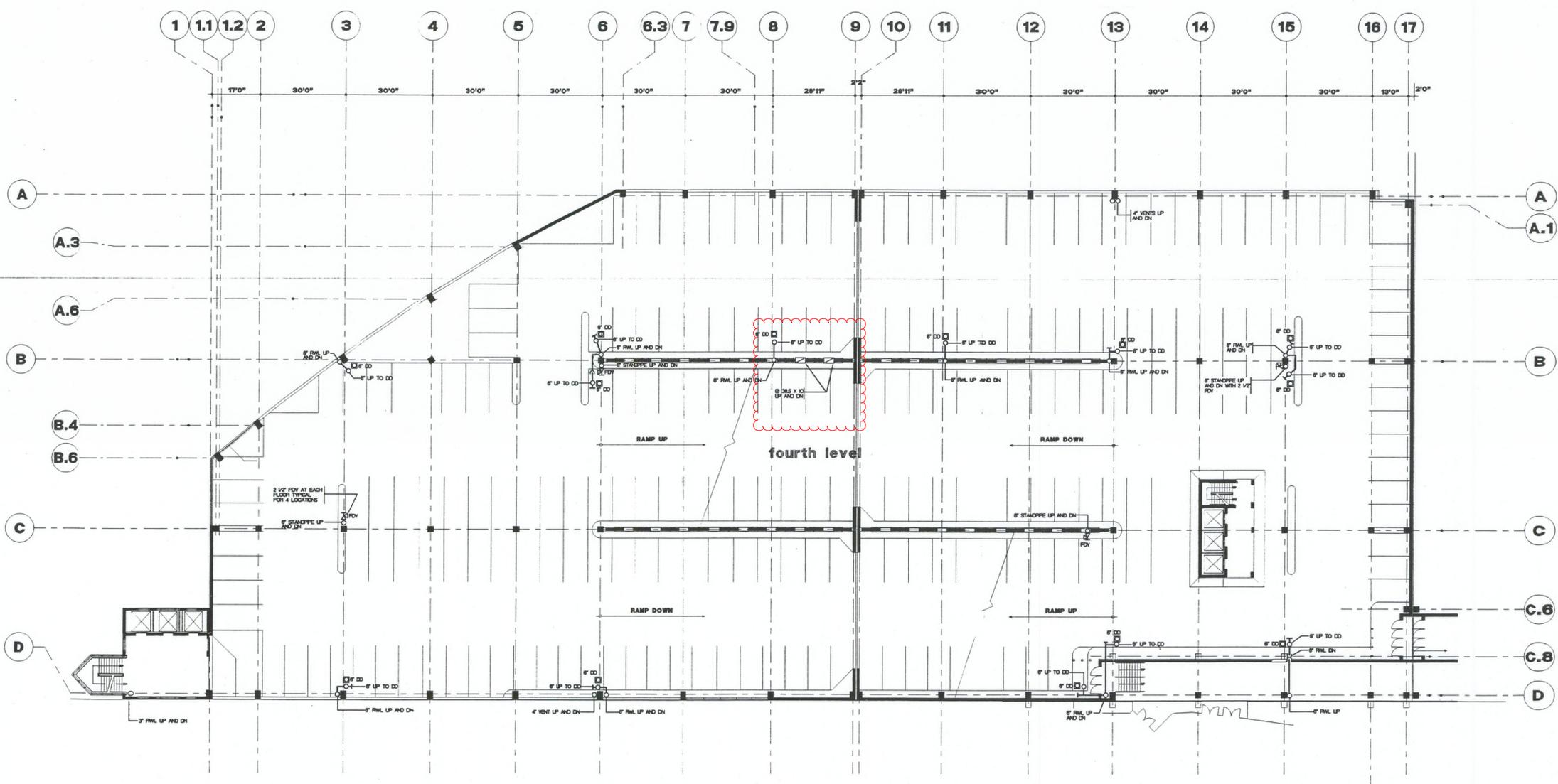
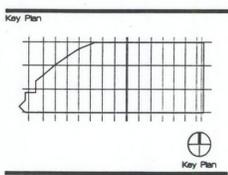
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3 LEVEL 4 (EL + 40)

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10 sept. 1992	1-15'-0"	Scale
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DWD	PH	
Project No.		
903.06		
Drawing Title	FLOOR PLAN LEVEL 4	
	AS BUILT	

Drawing No. **M.104**

PGM104.VWF

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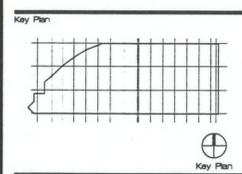
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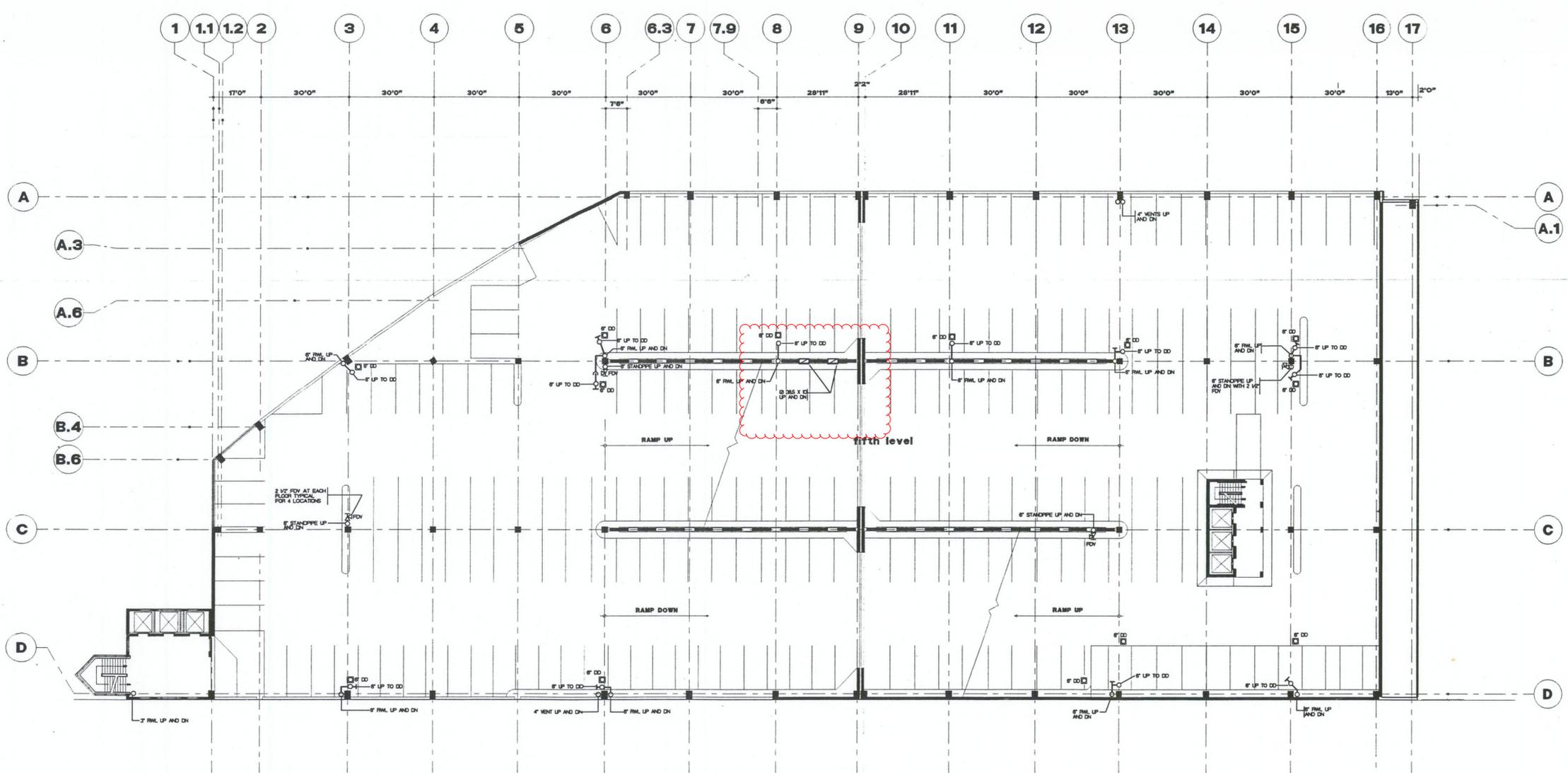
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DWD	3BI	
Project No.	9013.06	
Drawing Title	FLOOR PLAN LEVEL 5	
	AS BUILT	

Drawing No. **M.105**



1 LEVEL 5 (EL + 50)

PGMIO6.VWF

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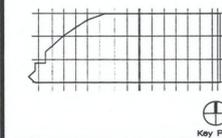
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Key Plan



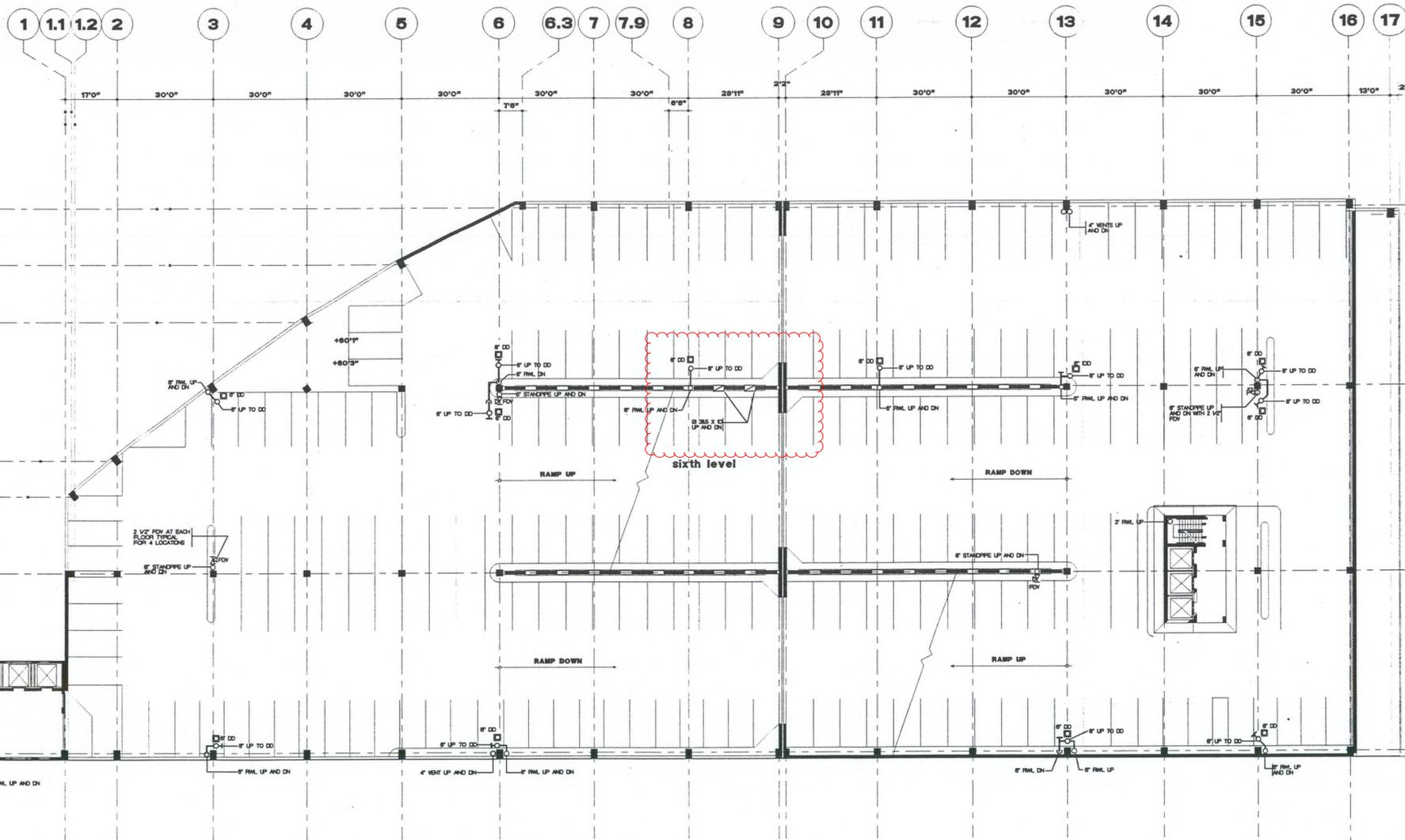
Key Plan

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Drawn by	DWD	Checked by	PH
Project No.	903.06		
Drawing Title	FLOOR PLAN LEVEL 6		
	AS BUILT		

Drawing No.

M.106



1 LEVEL 6 (EL + 60)

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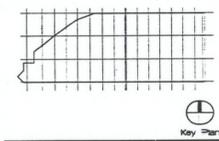
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Key Plan



MAY 2, 1994 AS-BUILT

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10 SEPT. 1992	14'-0"	PH

DWD PH

90606

Drawing Title

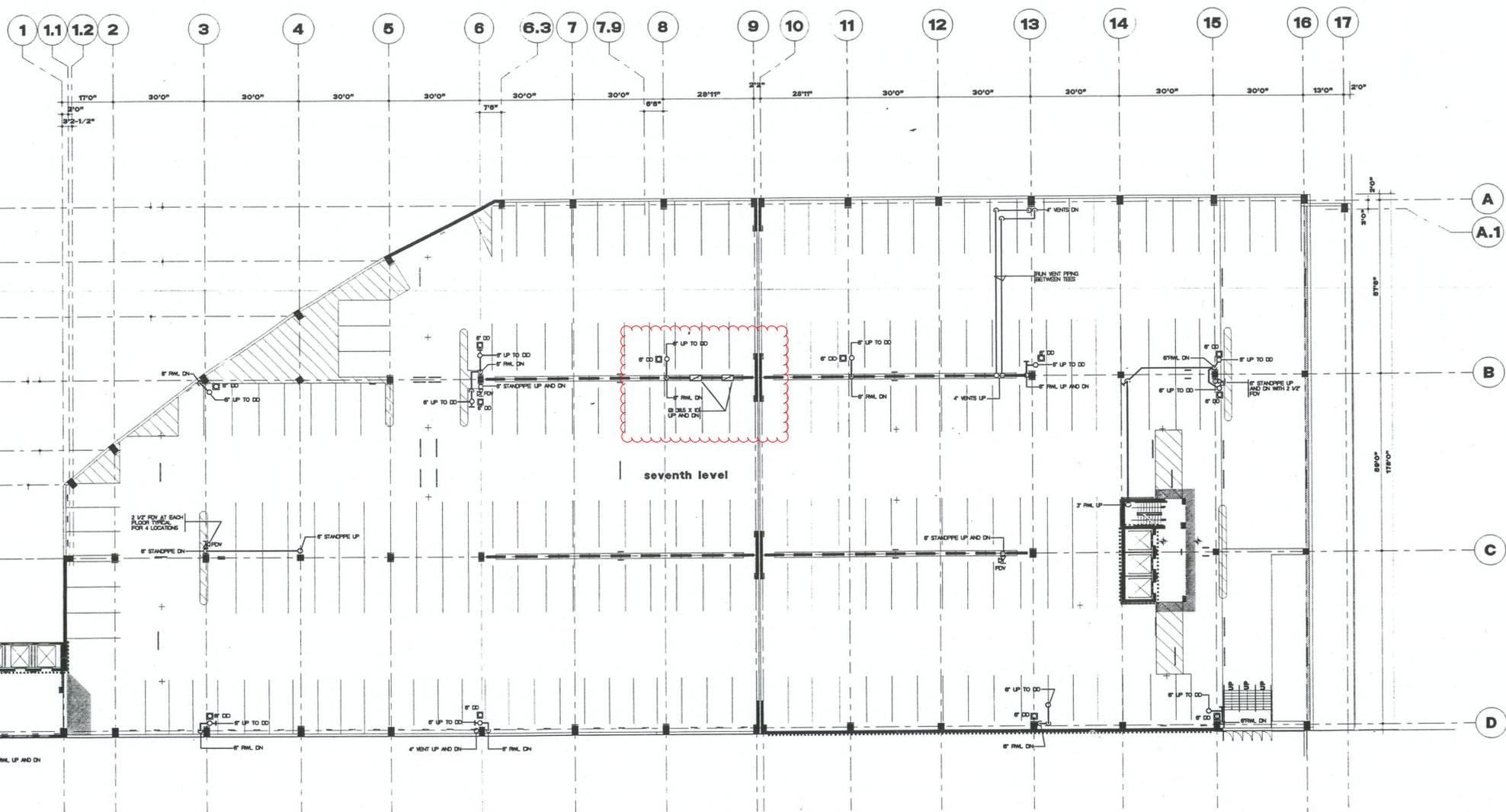
FLOOR PLAN

LEVEL 7

AS BUILT

Drawing No.

M.107



1 LEVEL 7 (EL + 70)

PGA107.WWF

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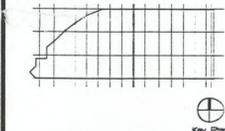
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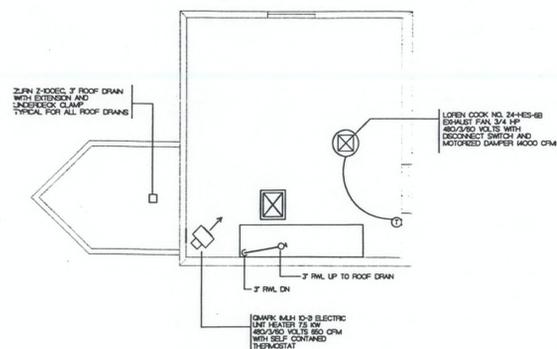
Key Plan



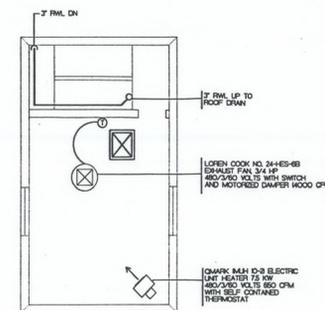
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 Project No.: 903.06
 Drawing Title: FLOOR PLAN LEVEL 8

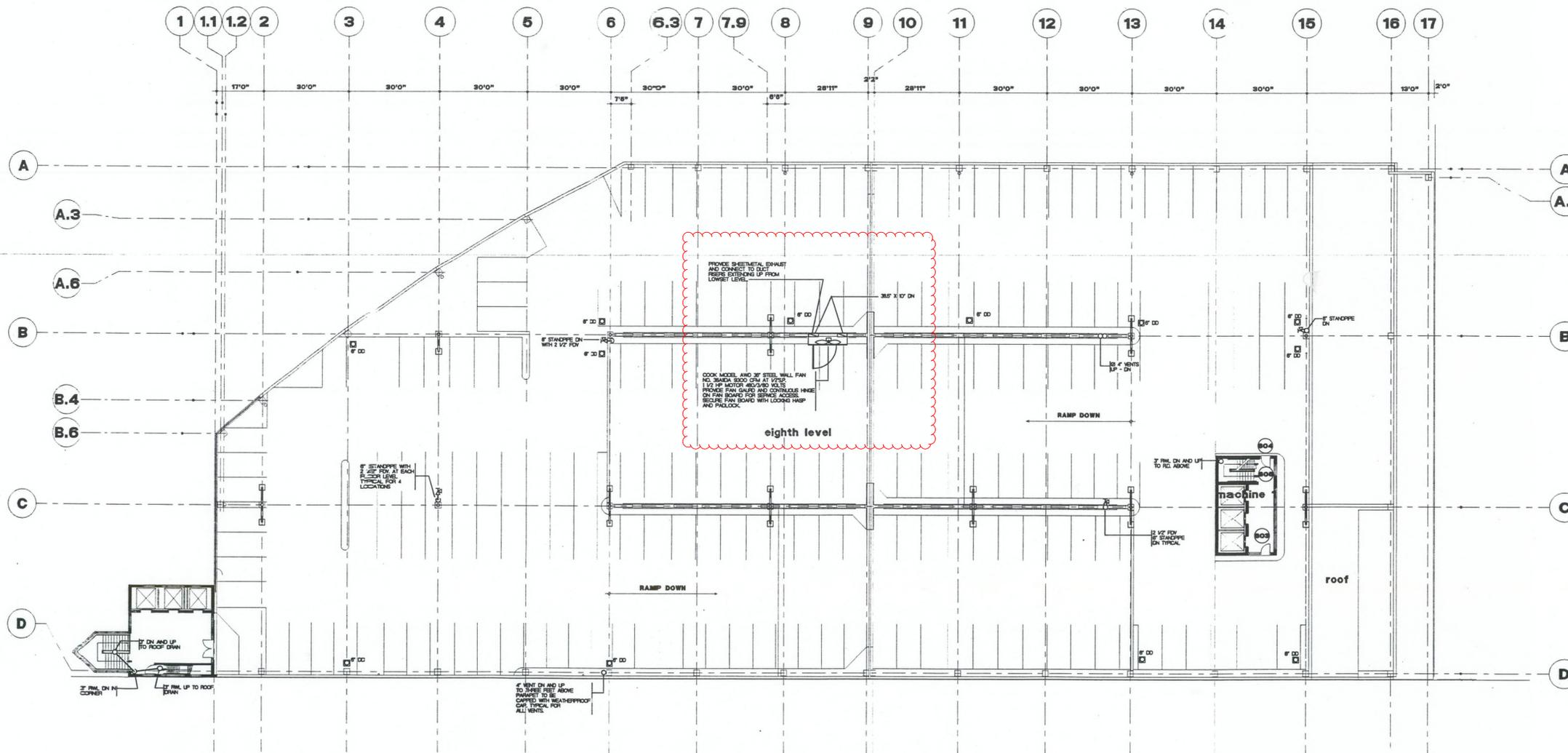
Drawing No: **M.108**



1 ROOF PLAN - WEST CORE
SCALE: 1/8" = 1'-0"



3 ROOF PLAN - EAST CORE
SCALE: 1/8" = 1'-0"



4 LEVEL 8 (EL + 80)

PGM108.VWF PIPELYR.LYR

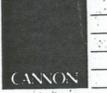
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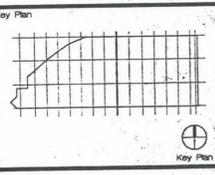
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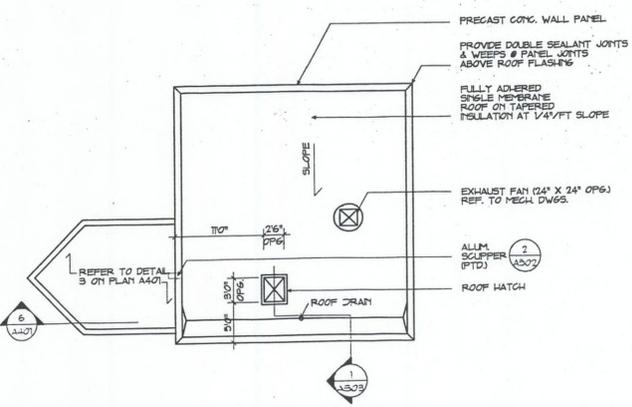
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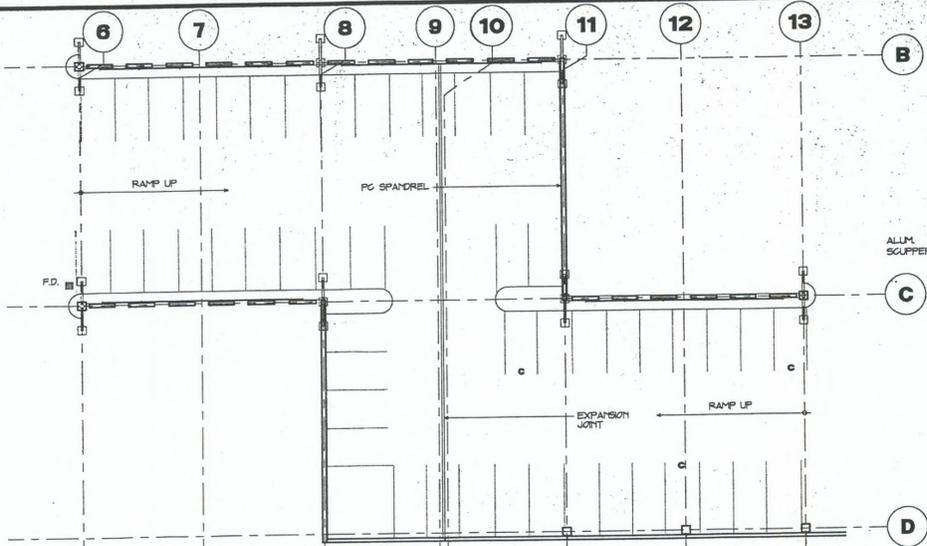
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Revision	Date	Issued for
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Drawing No. **A.108**

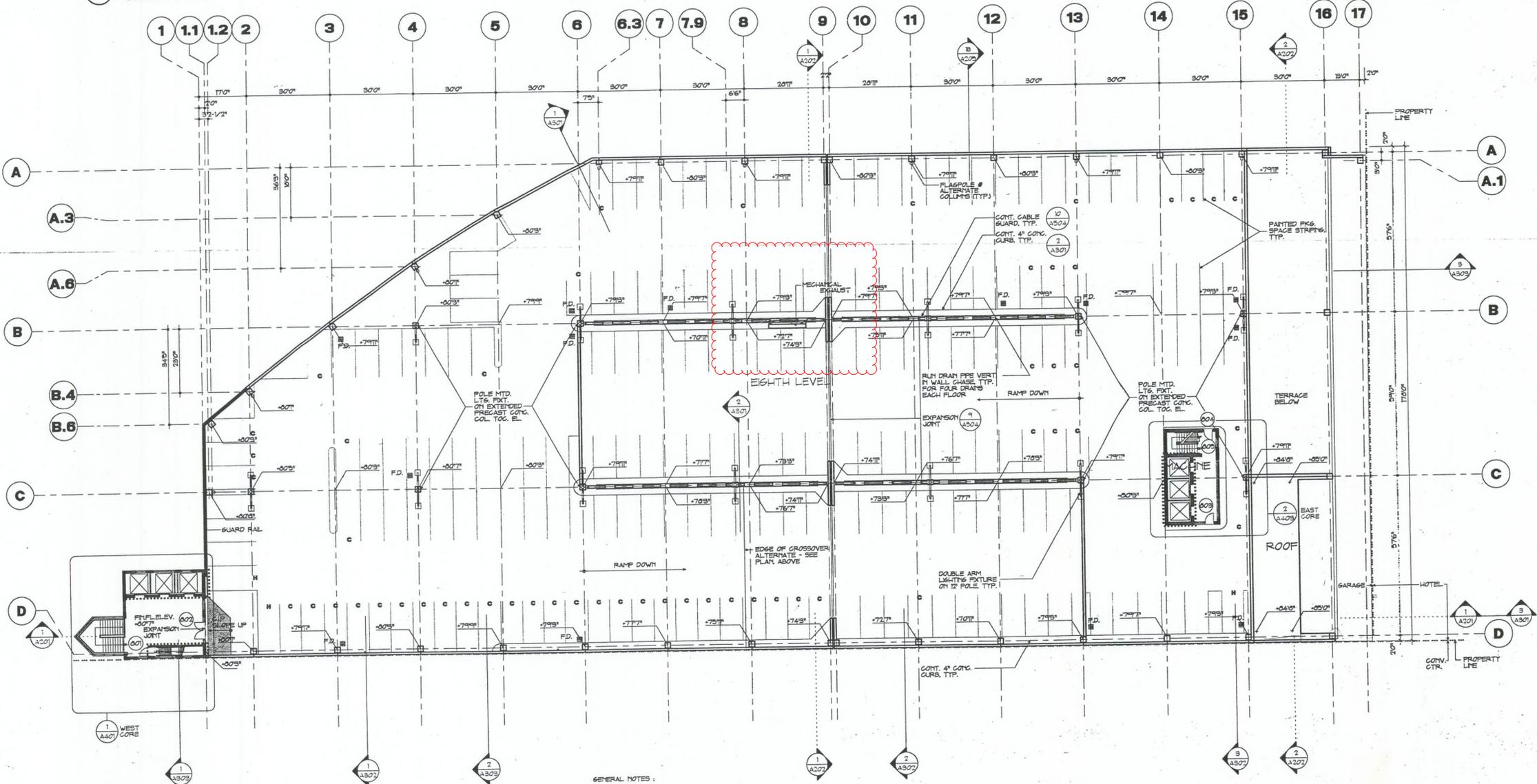


1 ROOF PLAN - WEST CORE
SCALE: 1/8" = 1'-0"



2 PART PLAN @ CROSSOVER (ALTERNATE) 50 PARKING SPACES

3 ROOF PLAN - EAST CORE
SCALE: 1/8" = 1'-0"



4 LEVEL 8 (EL + 80)

GENERAL NOTES:
1. ENTIRE EXT. DECK SURFACE FINISH TO HAVE ELASTOMERIC DECK COATINGS.

208 PARKING SPACES

PGA108.WWF

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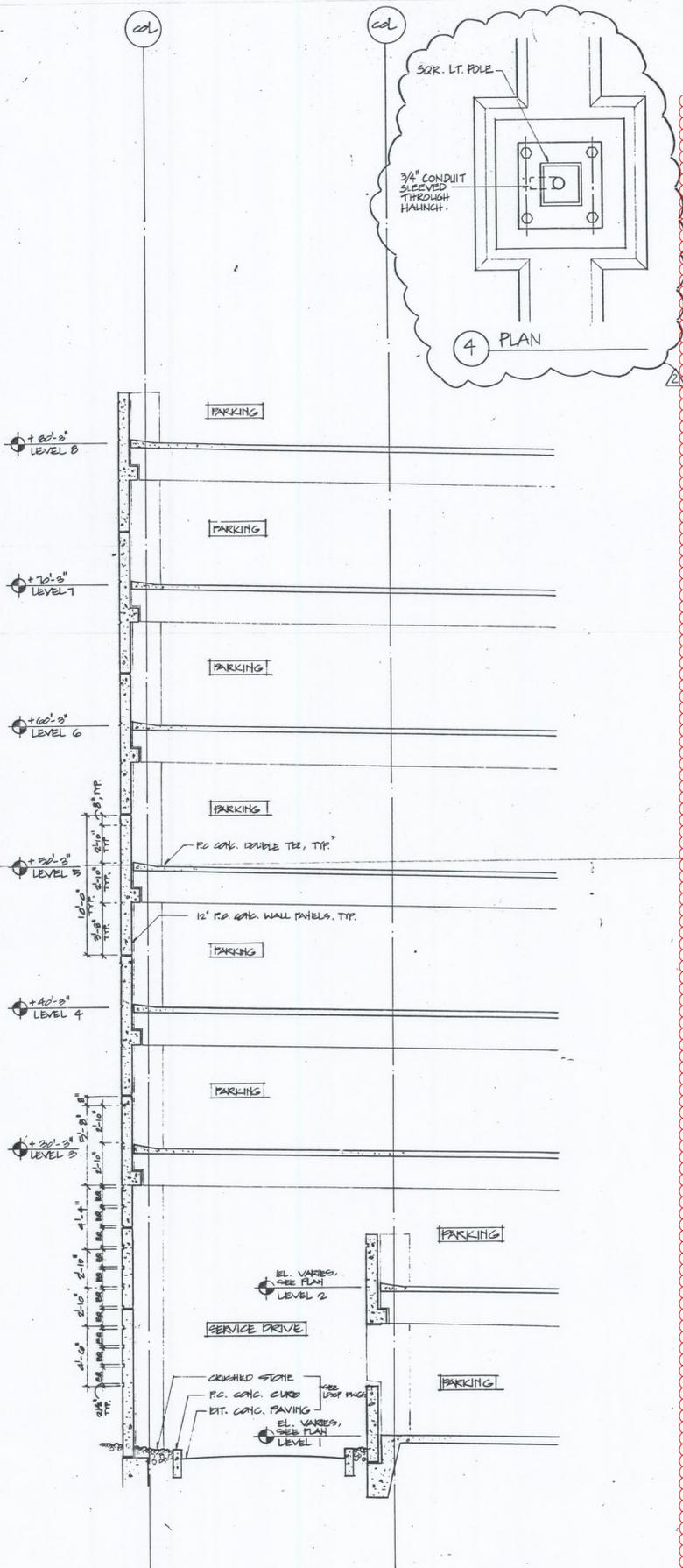
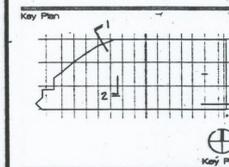
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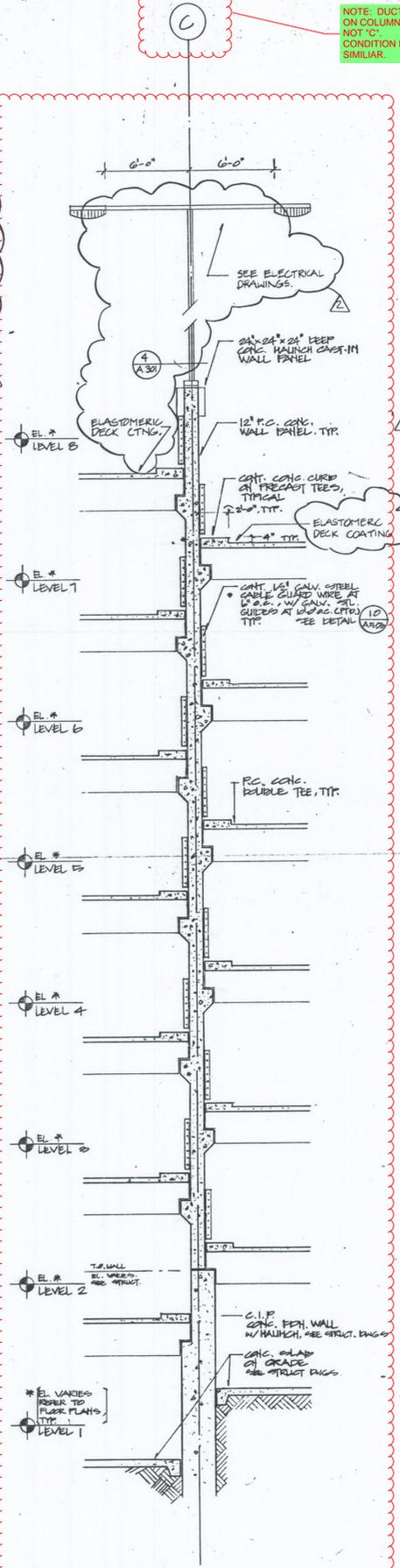
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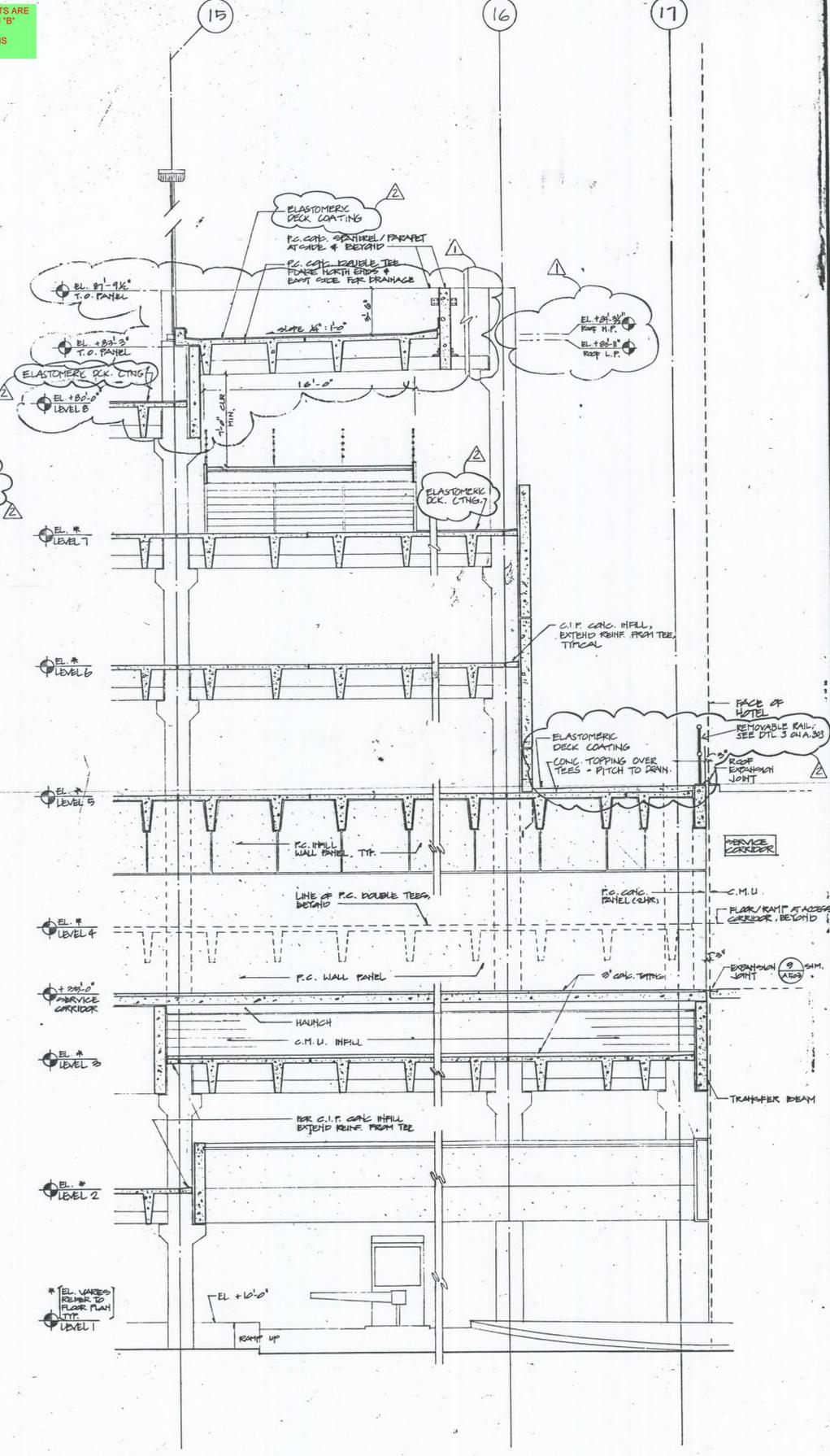
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SECTION 1
SCALE: 1/4" = 1'-0"



SECTION 2
SCALE: 1/4" = 1'-0"



SECTION 3
SCALE: 1/4" = 1'-0"

NOTE: DUCTS ARE ON COLUMN 'B' NOT 'C'. CONDITION IS SIMILAR.

MAY 2, 1994	AS-BUILT
9 NOV 92	
5 JUL 91	BULLETIN # 5
5 FEB 91	BULLETIN # 1
10 DEC 90	
Project No.	9010.01
Drawing Title	WALL SECTIONS
Drawing No.	A-301